

June 14, 2022

21st Century Library Report

Board of Directors Resolution
(October 2021) – directed GM to:

- Take all necessary and appropriate steps to recommend plans for a new main branch of our town library. Any proposed location shall include consideration of the existing site and both municipally and privately owned sites.
- Develop and present the Board with the proposals that include detailed plans and estimated costs for construction at the site determined to be most desirable and appropriate
- Recommend plans for the future use of the Mary Cheney Library if it is not determined to be appropriate site.



Process



Staff worked quickly to partner with multiple consulting teams to build on previous library efforts and return to the Board tonight with the requested deliverables.



Previous community engagement efforts and conceptual designs and renderings were considered



Special focus on common themes and priorities



➡ Adequate space

➡ Equity & Access

➡ Multi-use purpose for community uses

➡ Economic development & business impacts

➡ Parking, Parking, Parking

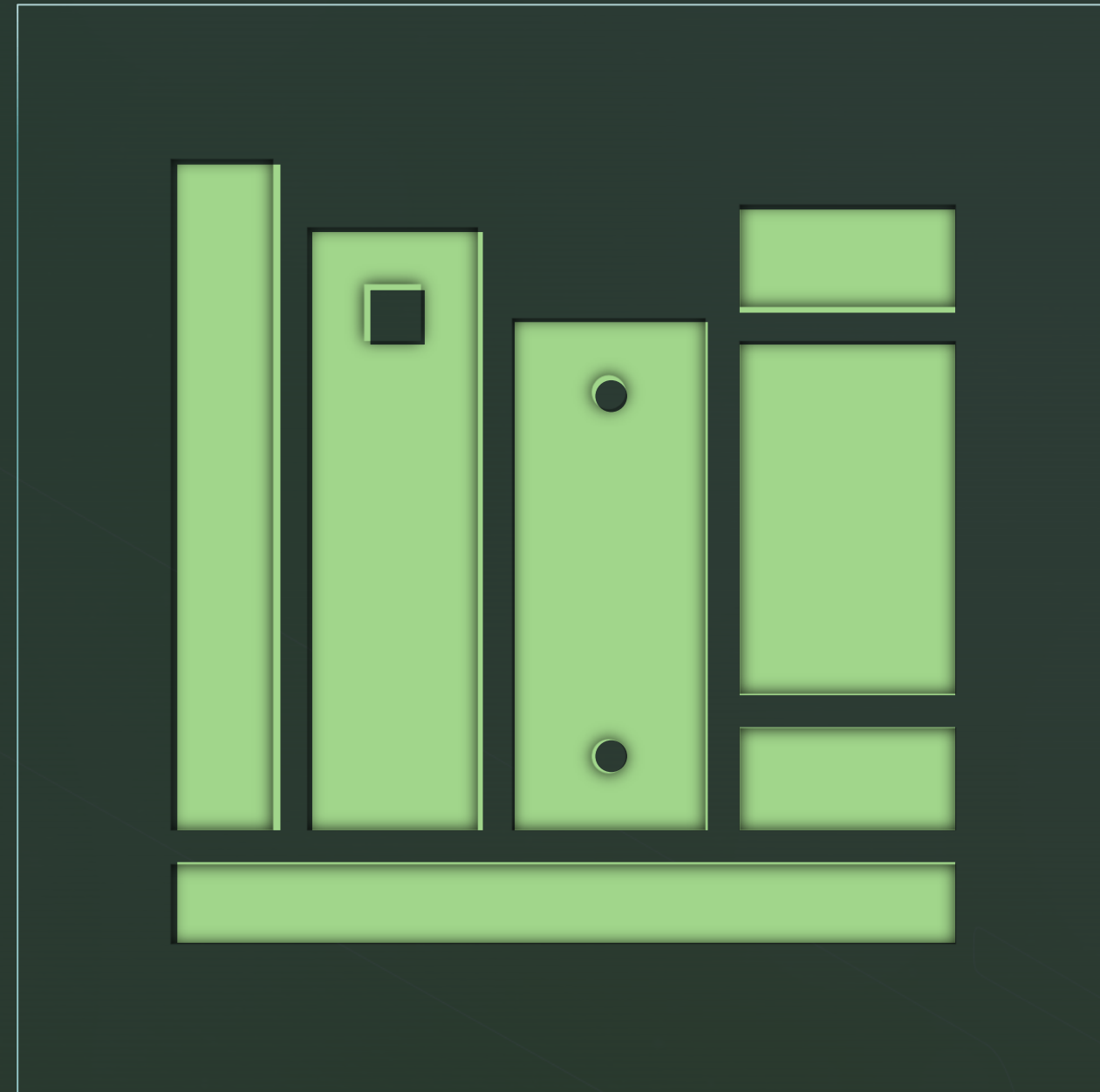


context

- This presentation delivers conceptual recommendations from staff and consultants based on the charge to report on the site determined to be most desirable and appropriate.
- Staff believes the Town has the resources and ability to seize a once in a generation opportunity to leverage existing funds, potential external grant/funding sources, and very reasonable bonding costs to **build a brand new, fully-accessible, and code-compliant 21st Century public library** with
 - Adequate size
 - Adequate parking
 - Mass transit accessibility
 - Flexible space design for multi-purpose and multi-age uses
 - Space for other municipal programming use
 - Private and group meeting and work spaces
 - Remains in the heart of Downtown Manchester
 - Directly serves Manchester's most vulnerable neighborhoods.

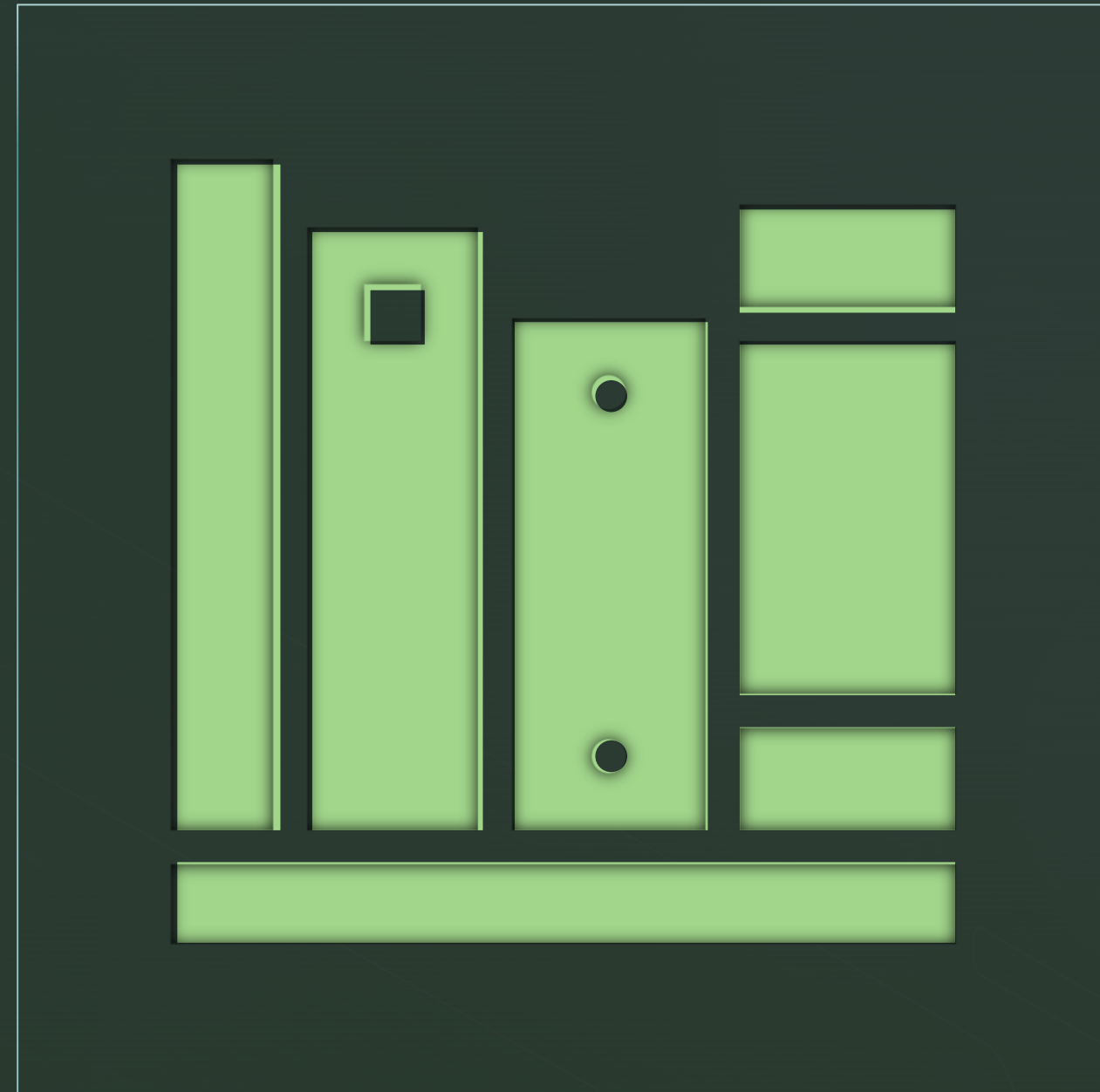
Building Program Drives Design

- A library building program is a document, based on data collected from the community, that serves as a guidebook or set of instructions from the library director, trustees and staff to the architect.
 - It's important for a library to determine their needs and goals before being influenced by any formal or aesthetic ideas.
 - The program must shape the design, rather than the other way around.



Building Program Drives Design

- Square Footage requirements- 70,000- 80,000 Square Feet
- Multi-use programs- children, teen, adult, events, general use, town partnerships
- Private spaces
- Community Rooms
- Accessibility
- Parking



Mary Cheney Library

Not Suitable /
Inadequate for
Manchester's
Building
Program needs



POTENTIAL FACILITY RE-PURPOSING

Potential user groups were discussed and programmatic options developed with project stakeholders

The conceptual plans illustrate recommended suite sizes, adjacencies, and minor renovations to largely work within the existing plan layout and take advantage of the building's assets:

- Central entrance/gathering space to potentially serve multiple suites
- Ease of wayfinding
- Open plans in the Ground Floor's main rooms
- Abundance of natural light
- Passenger elevator
- Shared multi-purpose room in the Basement
- Ample storage space in the Basement



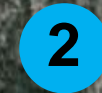
Site Assessment Review

Where in Manchester
can we build a 21st
Century Library that
meets all or nearly all of
identified priorities?



Possible Sites

- 1 Whiton Site
- 2 Forest Street Lot
- 3 Webster Bank
- ★ Mary Cheney Library



SITE CRITERIA RANKING

	LOCATION	FEATURES	OTHER
1 MOST IMPORTANT	Convenience / Ease of Access Proximity to Downtown Close to Public Transportation Easy to Walk to	Space for Adequate Parking	
2	Visibility to Passersby Proximity to Residential Areas	Ability to Accommodate Drive-Up Services Ability to Accommodate Delivery Vehicles Ability to Accommodate Outdoor Programming	Site Acquisition Costs
3	Proximity to Schools Surrounding Uses Complimentary or Neutral	Area for Green Space / Outdoor Space	No Challenging Grade Changes Stormwater Management Possibility for Future Expansion
4		Ability to Accommodate a Single Story Building	Location of Utilities
5 LEAST IMPORTANT			No Wetlands

WHITON LOCATION



100 N MAIN STREET | TEST FIT

SITE AREA	3.17 ACRES / 138,085 SF
ZONE	GENERAL BUSINESS
LIBRARY	
TOTAL SF	APPROX. 74,867 SF (62,500 NEW + 12,367 EXISTING)
FIRST FLOOR FOOTPRINT	28,850 NEW + 6,000 EXISTING
STORIES	4 (basement)
PARKING	
IDEAL	270 SPACES (1 SPACE / 300 SF)
SHOWN	172 SPACES (1 SPACE / 468 SF)

SITE FEATURES INCLUDED

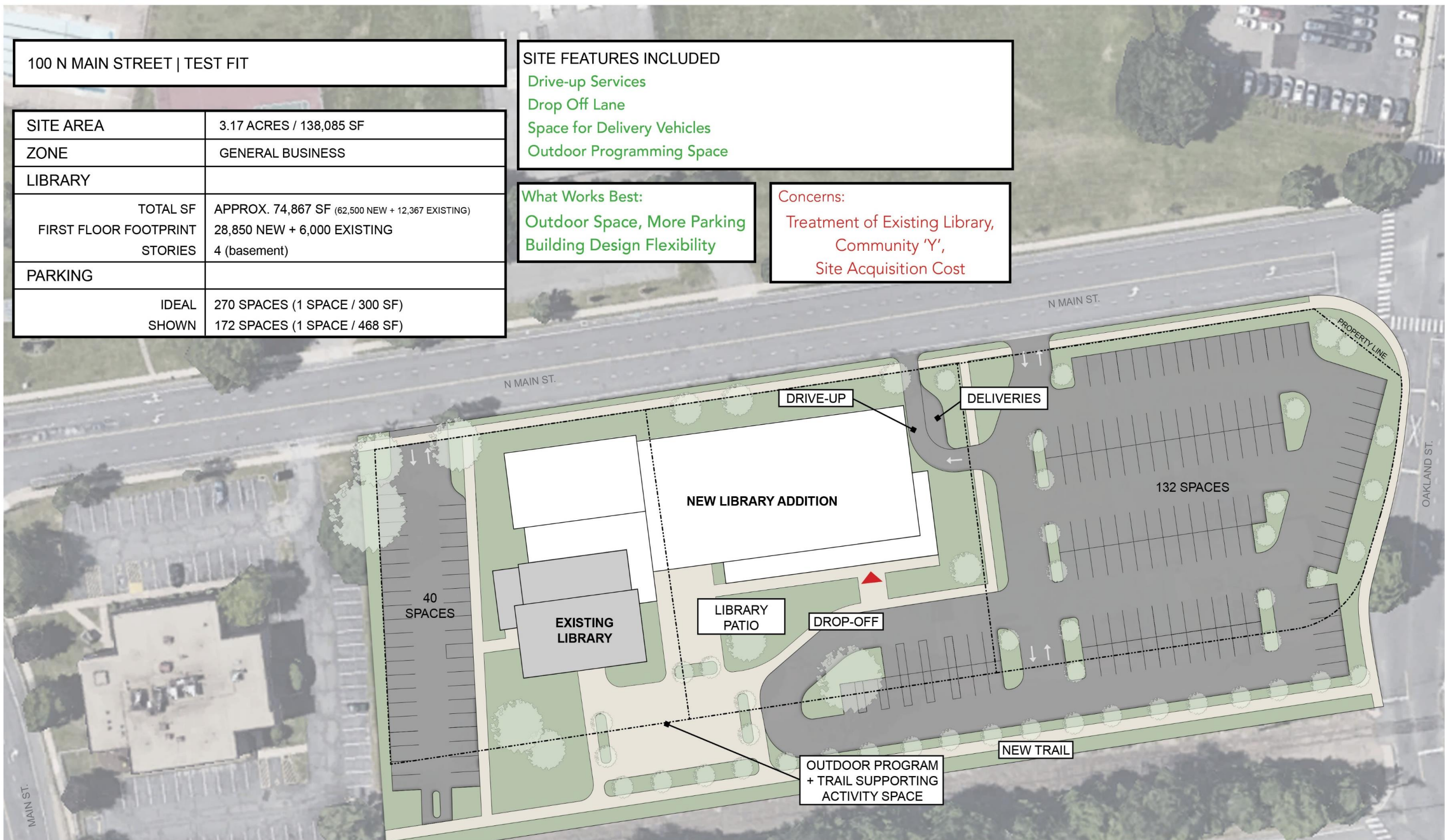
- Drive-up Services
- Drop Off Lane
- Space for Delivery Vehicles
- Outdoor Programming Space

What Works Best:

- Outdoor Space, More Parking
- Building Design Flexibility

Concerns:

- Treatment of Existing Library, Community 'Y', Site Acquisition Cost



SITE PLAN - WHITON LIBRARY TEST FIT
 1" = 60'-0"
 0 10 20 50 100

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MANCHESTER PUBLIC LIBRARY
 HBM ARCHITECTS, LLC

06/14/2022 **HBM** ARCHITECTS
 INTERIOR DESIGNERS **FRIAR**

Value of
Downtown
Location

Equity

Accessibility

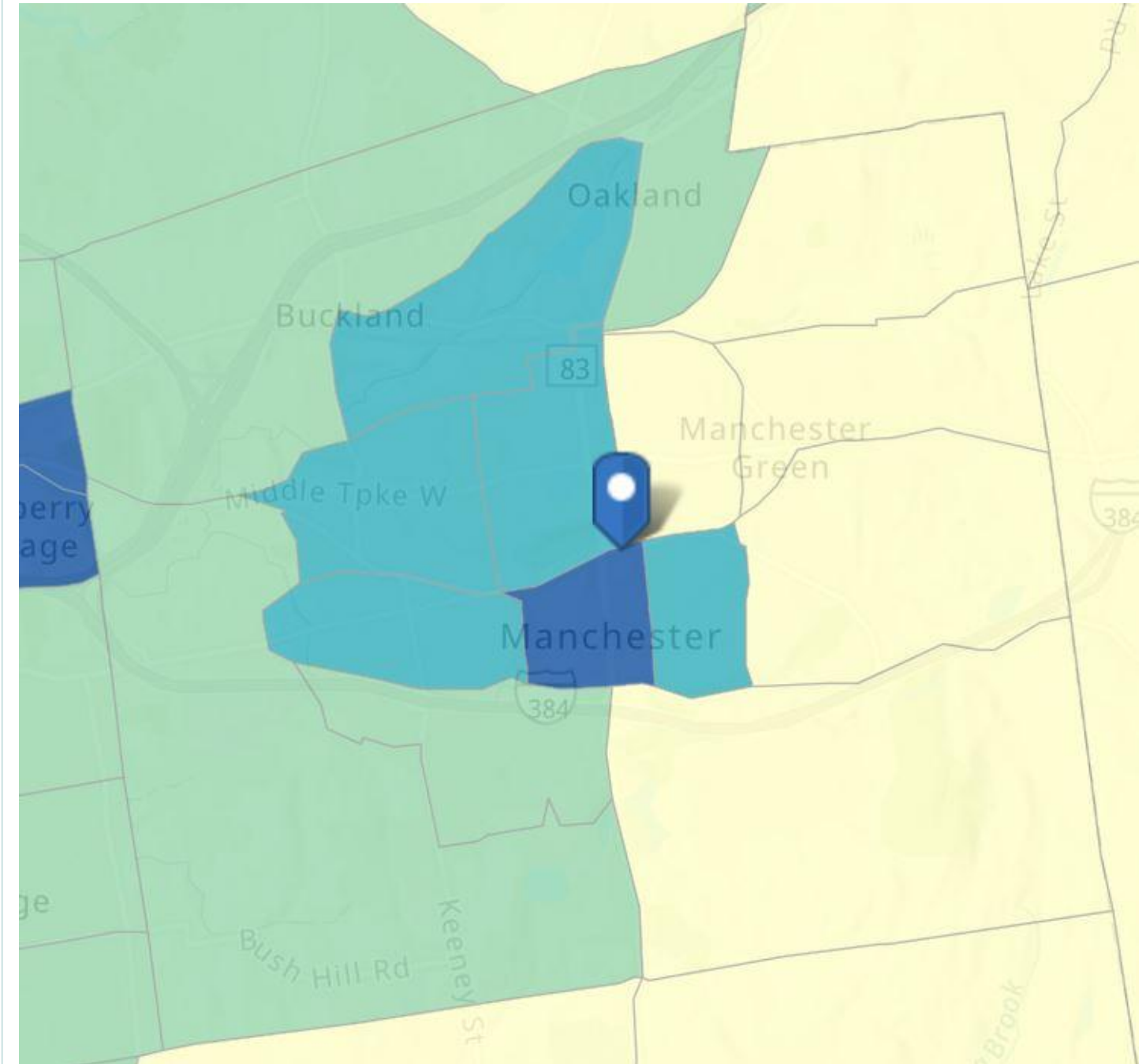
Economic Impact

Equity

Largest % of low and moderate income households

Most likely to not own a car

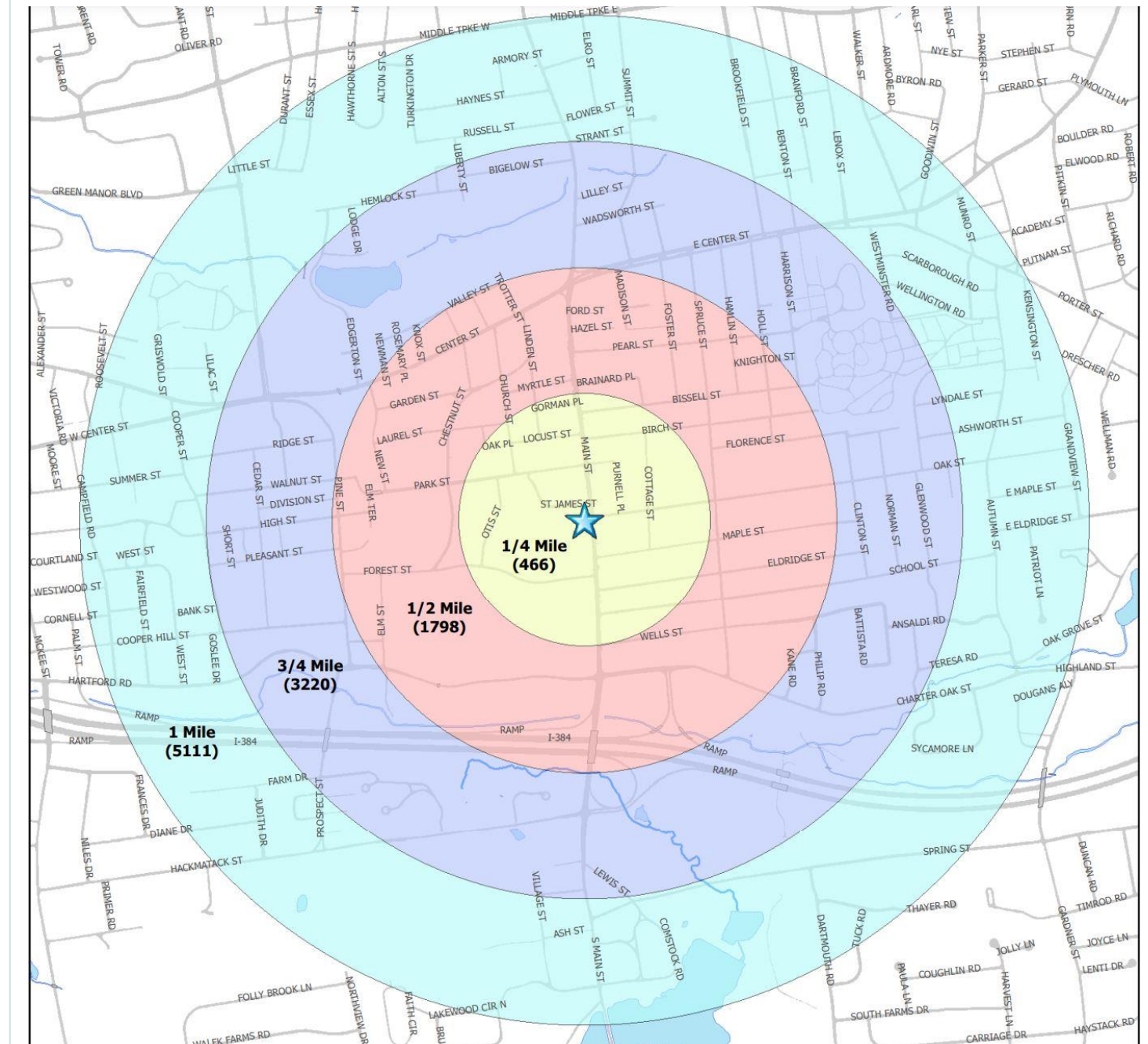
Lowest % of households with high school and college degrees



Accessibility

56% more households are within ¼ mile distance of the Downtown location

51% more households are within ½ mile distance of the Downtown location



Economic Impact

More than 1/3 of adult visitors to Mary Cheney come from outside Manchester

More than 1/3 of visitors made another stop Downtown either before or after their library visit

Visitors to the library make up +/- 4% of all Downtown visitors.

Generates \$8.8 million in annual economic activity, compared to \$3.4 million budget

The study done by Goman + York highly recommends the library stay Downtown

Economic Impact

“The Mary Cheney Library, even in its obsolete state, is a primary anchor to Downtown Manchester, generating substantial traffic and activity. Based on these findings, we are confident that a new, larger, modern library facility with robust programming space and programs would generate more traffic and activity in the Downtown, resulting in increased community and economic benefits.”

-Goman + York Study

FOREST STREET LOT LOCATION

942 Main
Street



942 MAIN STREET TEST FIT	
SITE AREA	2.38 ACRES / 103,672
ZONE	CBD
LIBRARY	
TOTAL SF	77,600 SF
FIRST FLOOR FOOTPRINT	26,700 SF
STORIES	4 (BASEMENT)
PARKING	
IDEAL	237 SPACES (1 SPACE / 300 SF)
SHOWN	86 SPACES (1 SPACE / 930 SF)

SITE FEATURES INCLUDED

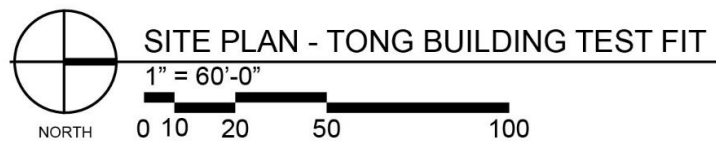
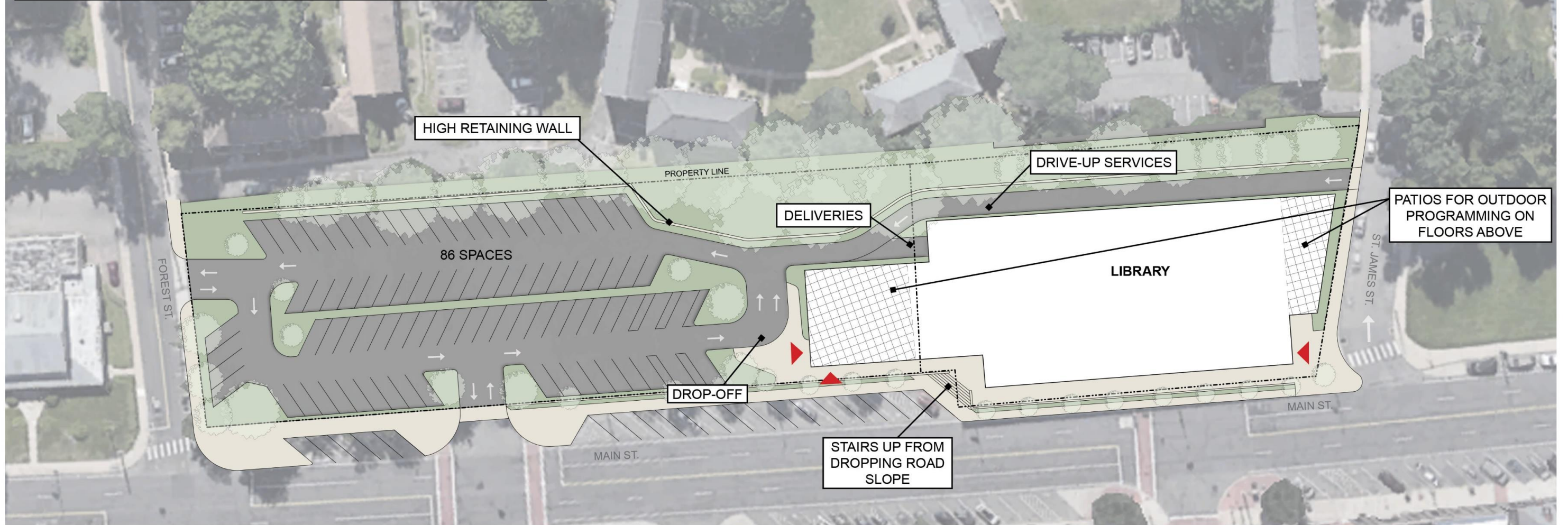
- Drop Off Lane
- Accommodates Delivery Vehicles
- Drive-up Services
- Outdoor Programming Space

What Works Best:

- Visibility and Central Location

Concerns:

- Limited Space, Little/No Outdoor Space (Ground Level), Land Acquisition Cost



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WEBSTER BANK LOCATION

1041 Main Street

RECOMMENDED
LOCATION



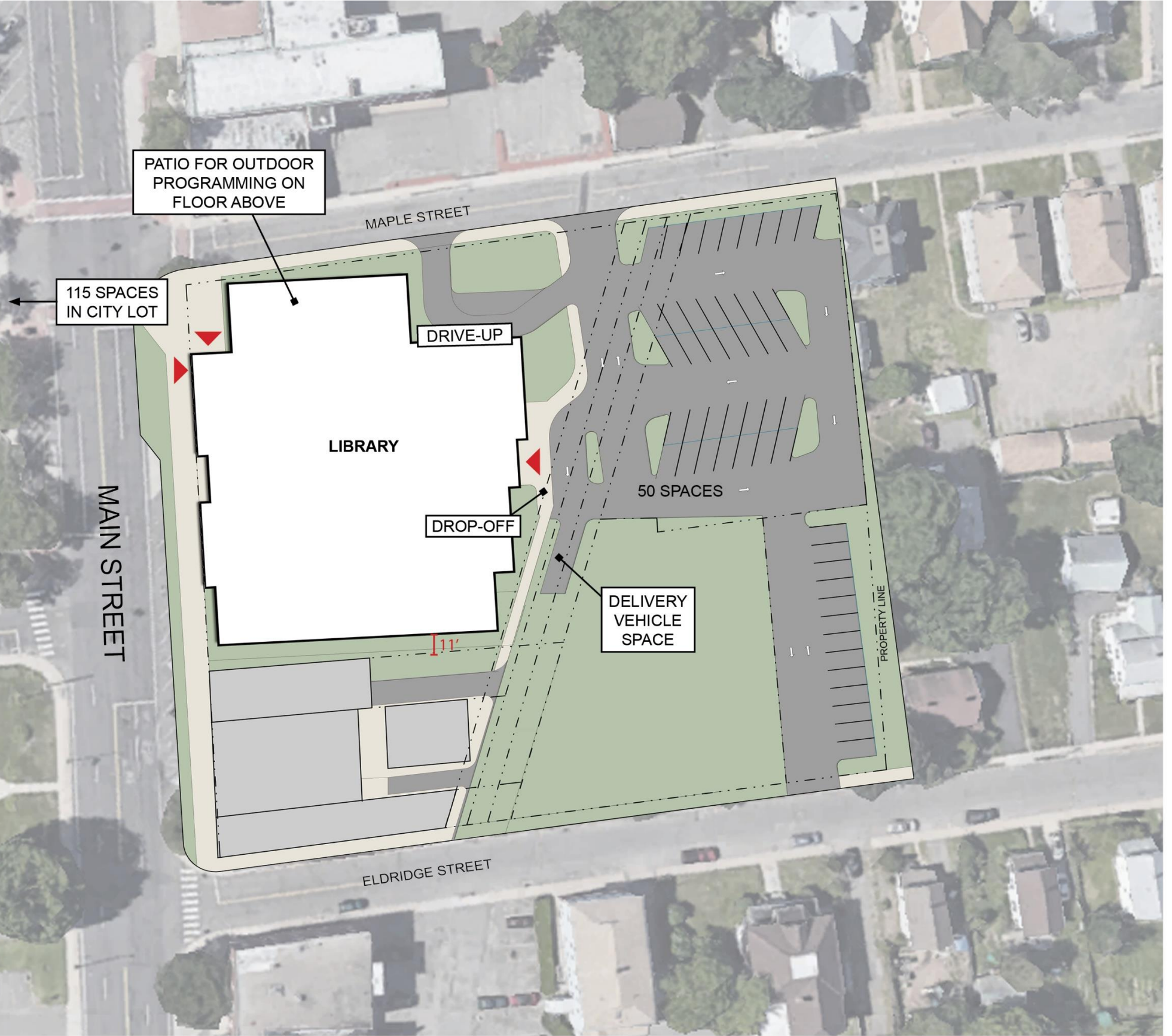
1041 MAIN STREET | SITE TEST FIT

SITE AREA	1.4 ACRES / 60,984 SF
ZONE	CBD
LIBRARY	
TOTAL SF	74,500 SF
FIRST FLOOR FOOTPRINT	26,590 SF
STORIES	3
PARKING	
IDEAL SHOWN	255 SPACES (1 SPACE / 300 SF)
	50 (1 SPACE / 1275 SF)

- SITE FEATURES INCLUDED**
- Drive-up Services
 - Drop Off Lane
 - Space for Delivery Vehicles
 - Outdoor Programming Space

What Works Best:
 Visibility and Central Location

Concerns:
 Site Acquisition Cost



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1041 Main Street Design



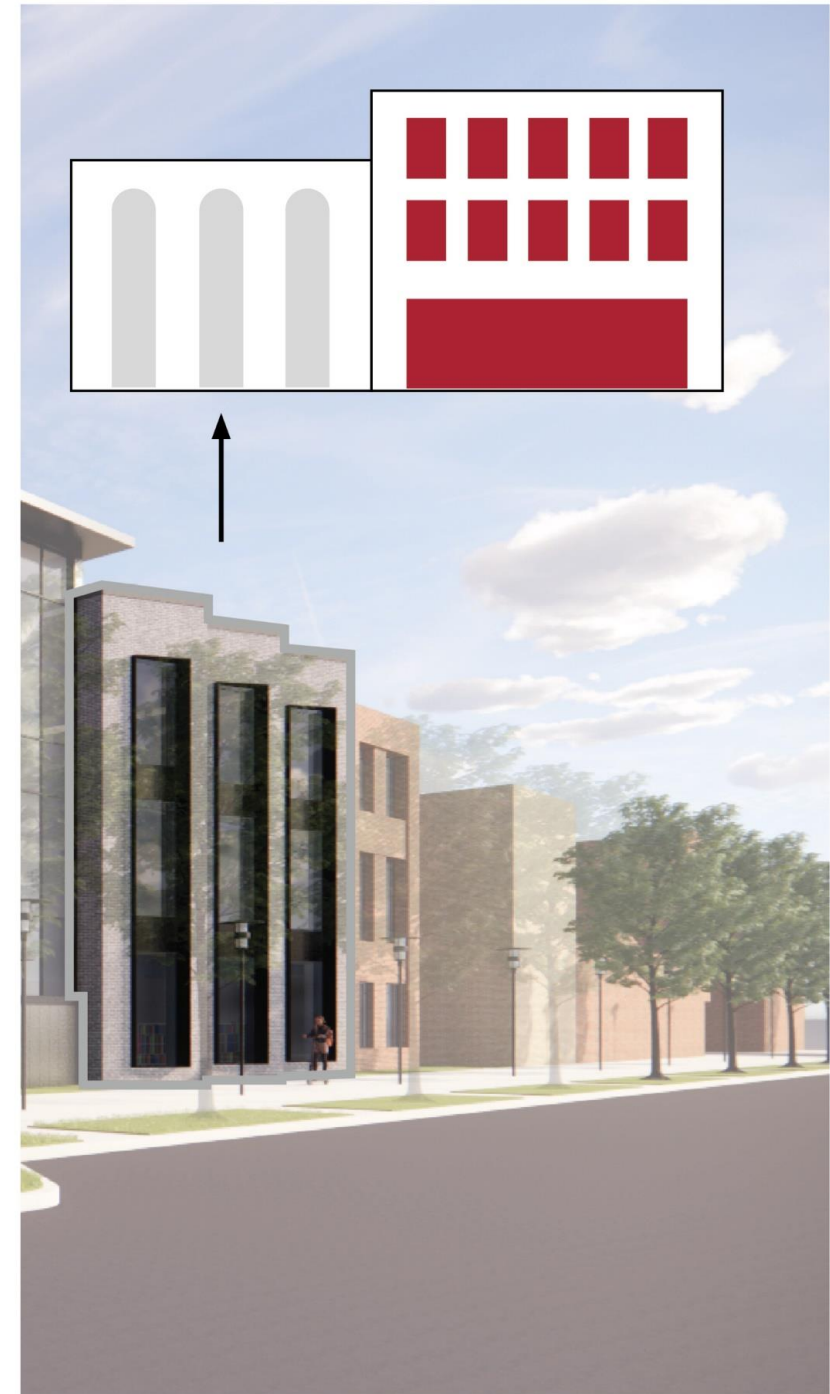
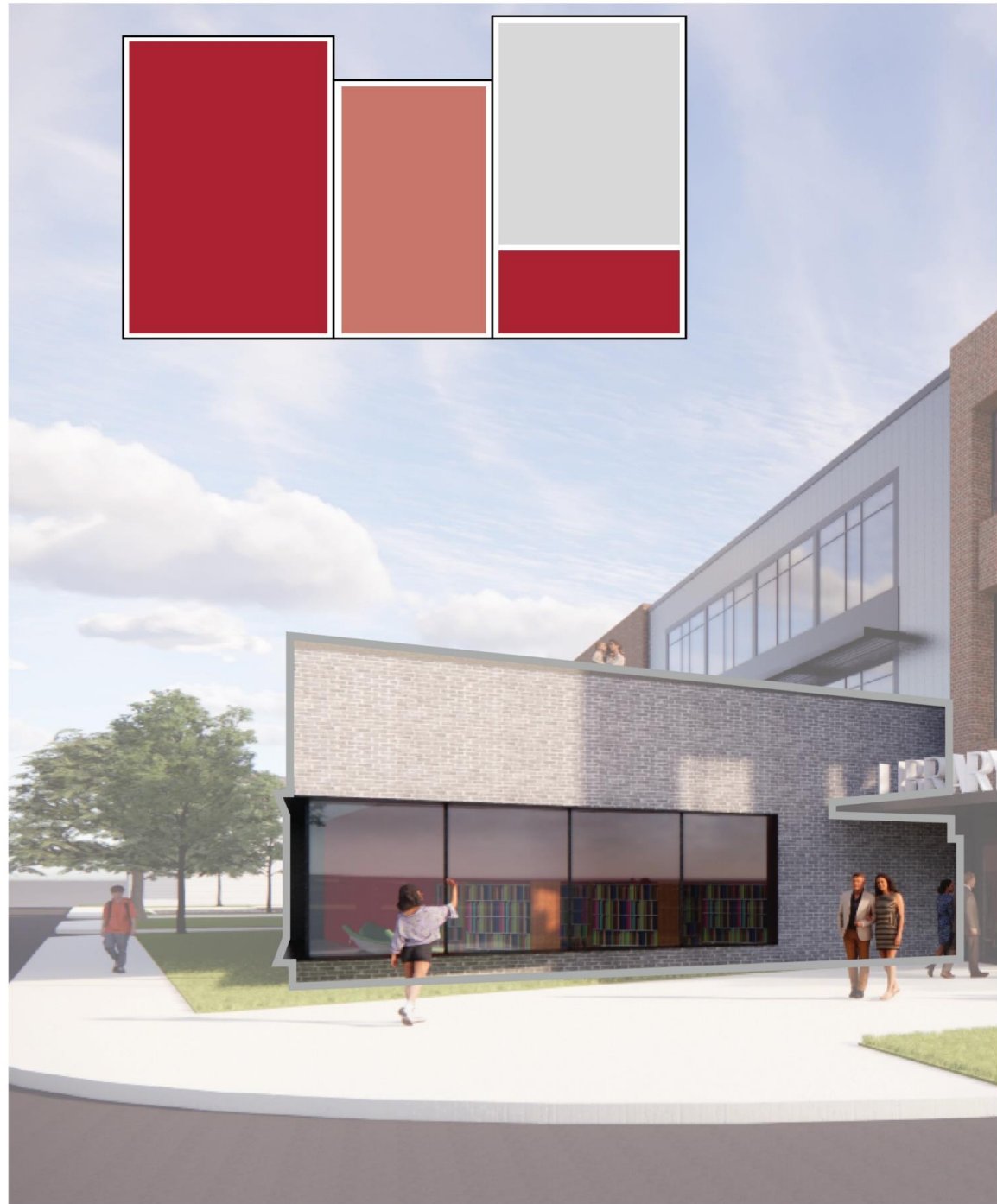
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	1041 MAIN STREET	100 N. MAIN STREET	942 MAIN STREET
SITE ACQUISITION	TBD	TBD	TBD
BUILDING DEMOLITION	\$105,000	\$210,000	\$190,000
SITE WORK	\$1,000,000	\$1,000,000	\$2,000,000
NEW CONSTRUCTION	\$24,375,000	\$22,750,000	\$24,375,000
RENOVATION	\$0	\$1,200,000	\$0
LIBRARY FF+E	\$1,875,000	\$1,750,000	\$1,875,000
DESIGN AND CONSTRUCTION CONTINGENCY	\$3,806,000	\$3,743,000	\$3,956,000
TECHNOLOGY	\$1,000,000	\$1,000,000	\$1,000,000
MISC. FEES / EXPENSES / SERVICES	\$4,181,000	\$4,115,000	\$4,343,000
TOTAL	\$36,342,000	\$35,768,000	\$37,739,000

Note: Construction costs noted here are approximate. The construction market remains volatile and has not stabilized. Any cost information presented here is subject to market fluctuations that continue to evolve.

Potential Funding Sources

Includes sources for related Downtown projects

- Coronavirus Capital Project Fund*- State- **\$5.5 Million**
- Community Investment Act Grant- State
- Downtown 2020 Investment Fund*- Town
- Communities Challenge Grant- State
- Congestion Mitigation and Air Quality Improvement Grant - Federal/State
- Public Library Construction Grant- State- **\$1 Million**
- American Rescue Plan Act (ARPA) – Federal/Town
- Additional Federal Infrastructure Funds?- Federal
- Local Bond Referendum- Town

**Funds in place*



Manchester Public Library



1041 Main Street Design



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